

Design Guidelines - Sites

Si1 Retain and repair historically significant site elements such as sidewalks, retaining walls, fences, light fixtures, hitching posts, mounting blocks, limestone curbing, outbuildings and mature plantings.

Si2 Consider the relationship that exists between the site, the structure and surrounding buildings when planning exterior changes. Maintain historic relationships in lot size, setbacks, circulation patterns, etc.

Si3 Historic fences and walls should be retained and repaired. Character defining details such as gates, decorative pickets, finials, newel posts, stairways and hardware should also be retained and preserved.



This iron fence is a key part of its Elm Street site.

Si4 Repair rather than replace historic fences or walls. If replacement is necessary, replace only those sections that are in need. Match the original fence or wall materials, height, scale, proportion, texture, color and design.

Si5 If a fence or wall has been removed or deteriorated beyond repair, new fences should match the original in materials, size, texture and proportion. New design for missing fences should be based on historic documentation or the surroundings.

Si6 Fences should be appropriate to the scale, style and materials of the building. New fences should be simple rather than ornate.



The simple design of this new fence compliments rather than competes with the historic fences on East Main Street.

Si7 Use traditional materials for fences and walls, including wood, metal, brick and stone. Vinyl and plastic are not appropriate fence materials in New Albany's historic districts.

Si8 If erecting a new fence, appropriate wood fences include picket or plain board. Appropriate iron fences would have a simple design – the earlier the building the simpler – and be set in a brick or stone base.

- Si9** Inappropriate fences include: chain link, board-on-board, board and batten, basket weave, lattice, louver, split rail and stockade fences.
- Si10** Avoid obscuring views of the building with fences or walls.
- Si11** The removal of inappropriate fences does not require a Certificate of Appropriateness; however, once removed, these types cannot be replaced without a COA.
- Si12** The installation of new walls and fences must comply with all applicable City of New Albany building and zoning requirements.
- Si13** Install utility lines underground or from the alley whenever possible.
- Si14** Preserve healthy large trees and other established landscaping whenever possible. Enhance established street tree patterns by planting additional trees along public rights-of-way and on private property. Select native deciduous species as canopy trees or trees appropriate to the period and character of the district.
- Si15** Parking areas and empty lots should be screened with landscaping and fencing. Large areas of parking should be broken up with islands of plantings.
- Si16** Parking lots should be located behind buildings whenever possible.
- Si17** Lighting should be low-intensity. Light fixtures should be inconspicuous and simple in design

and detail. Period lighting is appropriate.

- Si18** Pools, gazebos and other structures were not common historically. If such features are desired, they should be installed in the rear of the lot and made as inconspicuous as possible. Consider using landscaping as a screening device. Fountains may be installed in a more prominent site if documentation exists of their existence in that location.

- Si19** Temporary structures such as swing sets, children's playhouses, etc. should be sited in an inconspicuous location.



Sidewalk pavers along East Main Street

- Si20** Restore and reuse historic paving materials such as brick sidewalks and limestone curbs.
- Si21** Locate driveways, parking areas and loading docks to the rear of buildings. Access from alleys is preferred.
- Si22** Locate utilities in side or rear yards and/or screen them from public view through plantings, fencing or other means.

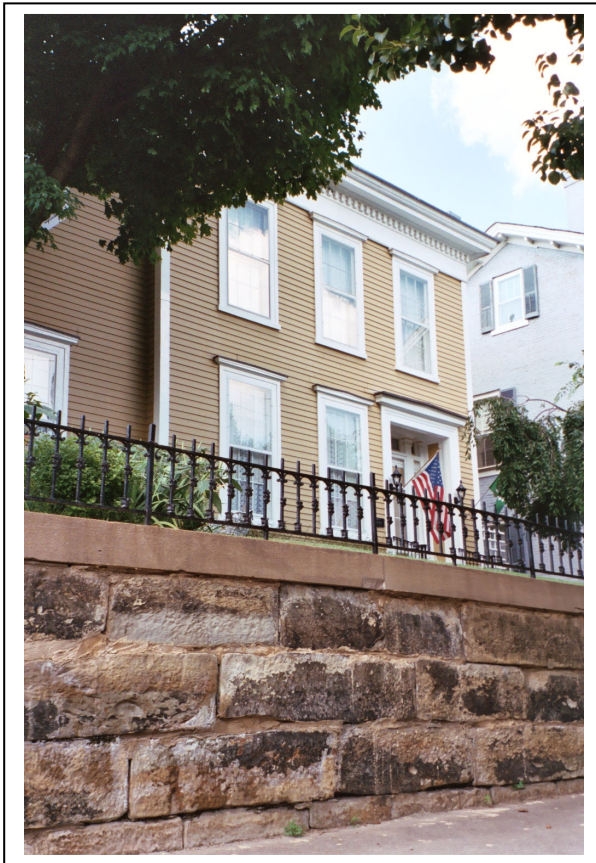
Si23 Fixtures such as free-standing satellite dishes and air conditioner condenser units should be located on secondary elevations.

Si24 Maintain original front yard topography, including grades, slopes, elevations and berms, where present. New construction should match the grade of adjacent properties.

Si25 New construction projects should be planned so as to minimize the disruption to the site, to avoid unnecessary destruction of unknown archaeological features or mature vegetation.

Si26 Some structures in New Albany's historic districts have frontage on two streets. In these cases, maintain the pattern of 'front' and 'back' yards found in surrounding properties, keeping uses and structures consistent with those patterns.

Si27 When utilized, free-standing mailboxes should be simple rather than ornate and should not obscure views of the historic resource. Wall-mounted mailboxes are encouraged.



The hill on which this home sits, the stone retaining wall and the iron fence are all significant parts of its East Main Street site.